

Salisbury  
VILLAGE



## **Stage 3D**

# **Architectural Design Guidelines**

**Includes: All Single Family and Semi Attached Dwellings**

**Plan: 182 2663**

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## **1.0 OBJECTIVE: The Community of Salisbury Village**

The The objective of the architectural guidelines is to ensure the very highest standard of visual appeal and image; ensuring compatibility among homes and integration of the community into the natural landscape. Outlining the opportunities and constraints of building, these guidelines will assist builders, designers and home buyers in achieving problem free construction.

The information contained herein is provided as a guide and the Developer and its designated Consultant make no warranties or representations as to the accuracy or completeness of these guidelines. Purchasers shall be fully and solely responsible for all designs which follow these guidelines and for the conformance to the appropriate building codes. The guidelines may be altered, amended or varied by the Landrex Architectural Committee in its sole and absolute discretion.

## **2.0 ARCHITECTURAL THEME**

The natural landscape setting and history of the area provides the perfect setting for this collection of Contemporary and Prairie Modern themed homes. The architectural themes we have selected provide elements that can be incorporated in a diverse range of styles, in a variety of applications. This framework will encourage originality and individual expression while the pattern of coordinated components and features establish the character of Salisbury Village.

These architectural elements will include strong entrance treatments. Samples and direction for each style are attached for your reference (Appendix B). The use of design elements particular to each style is required, but all plans will be reviewed on their own merits.

## **3.0 STREETSCAPE**

Care must be taken to integrate the unique values of each home with special attention to the relationship with neighboring properties. Relative massing, siting and style will be of utmost importance in assuring each home compliments its neighbor and the subdivision. Building massing, siting and style may be adjusted and/or alternate treatments requested to reinforce the streetscape. Entranceways will be covered at a level that encloses and protects the space, at the first level or a height proportionate to the design. The style, width, height and detailing of entranceways will together create a sense of arrival.

## **4.0 HOUSE SIZE**

Houses are to have a consistency of mass and volume within the streetscape. As such, house widths and sizes must relate proportionately and logically to the lot width and neighboring houses. As a maximum, the garage frontage should not be more than 72% of the pocket width. Small lots or building pockets will often exceed this requirement, but will

generally be acceptable. Additional garage width beyond this requirement will be allowed at the discretion of the Consultant and will be reviewed in context to additional design elements on the front of the home.

The minimum house width at both the front and rear elevations should also be within 2' of the building pocket width and within 4' of the building pocket width for lots 36 ft and greater. A maximum 2 ft garage offset will be permitted. Larger offsets will be reviewed at the discretion of the consultant if the home and garage have sufficient massing and detail from the street view. The minimum house width will be 26' for pockets 34' or less. The minimum house width for pockets 36 or greater will be 32'.

Salisbury Village will provide room for homes to be built well in excess of the minimum requirements noted below. However, the minimums provide the opportunity for variations in size which, when combined with landscaping considerations, will contribute to the ultimate character of the neighborhood.

<b>SIZES (Single Family Homes)</b>		
	<b>28'-0" - 34'-0" pockets</b>	<b>36'-0" - 46'-0" pockets</b>
<b>TYPE</b>	<b>Sq. Ft.</b>	<b>Sq. Ft.</b>
<b>Bungalow</b>	<b>1500</b>	<b>1500</b>
<b>1 1/2 Storey</b>	<b>1800</b>	<b>2000</b>
<b>2 Storey</b>	<b>1800</b>	<b>2000</b>

For triple car garage options on larger lots an offset of 10'-0" will be allowed. Offsets greater than this will be reviewed for suitability and acceptance. Homes will be reviewed on their individual merits of design, massing, proportion, and compatibility and, where the Architectural Consultant considers the plan to be exceptional, and, provided that the house confirms with the general trend of the neighborhood, exceptions may be considered.

## 5.0 **SITE PLANNING AND GRADING**

Site planning and grading must accommodate the natural slope of the land with variations in grade absorbed within the building mass as much as possible. Lot grading must be in strict conformance with the approved grading plan for the subdivision. For lots with a more dramatic change in terrain such as walk-out basement lots, there may be a requirement for special terracing and/or retaining walls. The purchaser shall be responsible for the design and construction of such retaining structures and must ensure design grades and lot drainage is not compromised.

Natural elements such as boulders are preferred for construction of all retaining walls, to provide a blend with the natural terrain. Alternatives such as concrete or blocks may be used to match the modern style. If the retaining structure is to be more than one meter in height, it must be stepped to reduce the wall's visual mass.

Special attention is to be given to the treatment of exposed concrete foundation walls. A maximum of 1' of parged concrete will be permitted on the front elevation and 2' on all remaining elevations of the homes. Variation in grade and basement design may require cladding material be lowered or extended to within 2' of ground level.

Front entry steps are to be a maximum of three risers per set. Where the grade calls for more than three risers, the run must be split. Exceptions to this requirement may be granted in consideration of unique design, topography and lateral bracing concerns. If there are more than three risers per set, the step will be a minimum 4' wide with appropriate railing style.

Homes will be reviewed on their individual merits of design, massing, proportion and compatibility and, where the Architectural Consultant considers the plan to be exceptional, and, provided that the house conforms to the general trend of the neighborhood, exceptions may be considered.

## 6.0 **GARAGE / DRIVEWAY**

Double attached as a minimum attached front drive garages are allowed under the massing guidelines previously discussed and must be located in accordance with the garage location plan. Driveways and front walks must be exposed aggregate concrete, stamped concrete or broom finished concrete. Driveways are required to have a maximum driveway width at the front property line not larger than the width of the garage. All side drive garage locations will be reviewed for compatibility with adjacent homes. Side drive garage locations will require a landscaping buffer to adjacent lots.

A maximum of 18” must be maintained between overhead garage door and the eave line. Where the height exceeds 18”, special detailing may be required. Gable ends will require appropriate detailing to soften the visual impact accordingly. Garage overhead doors must be compatible with the house style.

The garage overhead door must be the same colour as the cladding or when the garage front is brick or stone, the overhead door may be the same colour as the trim. As an additional alternative the garage door colour may also be matched to the brick or stone colour at the discretion of the consultant. Corners of overhead door must be straight or curved. Angled corners will not be permitted.

## 7.0 **REPETITION**

The same house plan or model shall be separated by two (2) lots on the same side of the street and it will not be allowed directly across the street. This may be altered at the Architectural Consultant’s discretion if it can be shown that the two houses in question are located so as not to be visible together from any given angle. The same model may be allowed to be separated by one (1) lot if significant changes have been made to the house style, roof pitch, and exterior materials to the satisfaction of the Architectural Consultant. The predominance of any one particular model on a streetscape will not be allowed.

## 8.0 **EXTERIOR COLOURS**

Colors will be approved on an individual basis. Colors will not be duplicated on adjacent lots or directly across the street. The use of a third accent color is required. This colour may typically be used on the front door or may be used in combination of trim elements for the home. In keeping with the character of the neighborhood and in consideration of blended streetscapes, pastel colors are not permitted. Darker color pallets will dominate the streetscapes. Lighter cladding colours may be used moderately in combination with darker palettes in contrast. All exterior colour schemes will be approved on a lot by lot basis. The Architectural Consultant reserves the right to approve or disapprove any colour scheme.

Premium color selections are required. A predominance of one colour or colour palette within a street will not be permitted. Streetscapes require a variety of wall cladding and trim colours, specific to the style.

## 9.0 **CORNER LOTS**

Special attention must be paid to side and rear elevations and side yard setbacks on all corner lots. The side and rear elevations should have the same treatment (ie: box outs, detailed battens, stone/brick) as the front elevation, as it is even more visible than the front elevation from the street. Side elevations on all corner lots must be approved by the Architectural Consultant. Side drive garages may be allowed on corner lots subject to review by the Architectural Consultant.

All corner lots are highlighted for exceptional treatment.

## 10.0 **HIGH VISIBILITY LOTS**

High visibility rear elevations require special design consideration. These elevations must have openings of a number and size that is suited to the wall area and incorporate detailing consistent with the front elevation and overall design.

## 11.0 **ROOFING**

The roof lines on any unit must be consistent and complimentary to the total house design. Minimum roof pitch and roof overhangs are as per each style. Reduced overhangs may be allowed if they are proportionate to the design of the home at the discretion of the Architectural Consultant. The minimum fascia size will be 8". Some house types may require a steeper roof pitch to accommodate the streetscape.

Refer to the attached Appendix A for a complete list of approved materials and colours.

Chimneys and flues must be contained within a corbelled chase, finished in a style consistent with the home design.

## 12.0 **EXTERIOR FINISHES**

To achieve the standard and caliber of visual appeal, a requirement for architectural detailing and continuity will apply to all homes.

Brick or stone, a minimum of 120 square feet, will be required on all homes built on a 30 foot pocket and smaller. Brick or stone, a minimum of 150 square feet, will be required on all homes built on 32 36-foot pockets. Brick or stone, a minimum of 200 square feet, will be required on all homes built on pockets greater than 36'-0".

Trim will be a minimum 6". A reduced trim of 5" in a textured smart board will also be acceptable.

Entranceways will be covered at a level that encloses and protects the space at the first level or a height proportionate to the design. The grand but somewhat overwhelming two storey pillared entries will be discouraged. The front facing elements of all verandahs and entrances must be accented with stone, brick or another suitable accent material that conforms with the prescribed style of the home. This will typically be the front column support at the entrance. All entrance areas are to have concrete steps. All exposed wood is to be stained to match the wall colour or trim colour.

Acceptable cladding materials include:

- brick, stone or shale in stacked application
- hardboard siding, pre-finished (long life), horizontal application – (Hardie Board – typical)
- longboard
- stucco of sand float finish (traditional)
- acrylic stucco

No vinyl siding is allowed.

All trim details and masonry must be returned 2 feet around corners.

Where columns or posts are used on the front or highly visible elevations, they are to be of substantial form and solid in appearance and suitable for the architectural style. Columns and posts may include suitable step details.

Homes will be reviewed on their individual merits of design, massing proportion and compatibility and, where the Architectural Consultant considers the plan to be exceptional, and, provided that the house conforms to the general trend of the neighborhood, exceptions may be considered.

### **13.0 FENCING / LANDSCAPING / OTHER**

Wood fencing is acceptable on all lots and shall be consistent in design and color with the fencing style established for the community, an illustration of which is attached. (Appendix C)

#### **13.1 Landscaping**

It is the responsibility of the homeowner to landscape the front yard and the rear yards of all high visibility lots. In the case of corner lots, the front yard shall include the flanking side yard to the sidewalk, curb or boulevard and to the rear corner of the house.

All eco-scaping proposals shall include a minimum of 50% sod and must be approved by the Architectural Consultant.

All High Visibility Lots (backing on to a public amenity) will require the rear yard to be 100% landscaped. In addition to sod, it is encouraged to bring in some eco-scaping features.

All turf should be drought-tolerant fine fescue blends. It is recommended that all turf grass purchased be Water Star certified.

Synthetic grass may be permitted but samples must be submitted to the DRC for approval.

The minimum landscape standard for all lots shall consist of sod, one tree and a prepared shrub bed containing at least six shrubs. In addition, the rear yard of all high visibility lots will require sod and one additional tree. The minimum

deciduous tree shall be 2" caliper for front yard and 2" caliper for rear yards - measured 6" above ground. The minimum coniferous tree (spruce or pine) must be a minimum 6' tall. Shrubs shall be 2' in height or spread. A prepared bed is defined by edging (landscaping vinyl, brick, concrete, etc.).

All landscaping must be completed, in accordance with the requirements, within twelve (12) months of occupancy.

To ensure compliance with the landscaping requirements, a security deposit must be paid by the Purchaser to each builder (or the Developer in the event a lot is sold directly to the public). This will be refunded upon confirmation of the satisfactory completion of the landscaping. (See item 18.0)

### 13.2 Accessory Buildings

The side wall elevations of all ancillary buildings and garden sheds shall not extend higher than adjacent fencing. Where visible from a public adjacency (i.e.

all perimeter lots and corner lots), accessory buildings must be consistent in style, finish and color, with the house. Roof style and materials are to match the materials used on the roof of the house.

### 13.3 Address Plaque

A standardized address plaque, as per the subdivision detail, is required for all homes in the sub-division. It shall be placed on the front of the garage in a visible location. Alternate locations may be accepted at the discretion of the Architectural Consultant.

### 13.4 Downspouts

Must be directed away from the house to the streets or the rear drainage Structures. Storm water must not be directed onto adjacent lots.

13.5 Dog Runs  
Dog runs and other enclosures must be properly screened and otherwise hidden from view by prescribed wood fencing.

13.6 Recreation Equipment / Vehicles and Commercial Vehicles  
No House trailer, recreation vehicle, trailer of any kind, truck, camper, boat, or other vehicle over ¾ ton, farm machinery or any vehicle of any kind not functional or in a state of disrepair shall be parked, kept, stored, placed or maintained on any lot in the Neighborhood in such a way that it is visible from the street or any Public Lands. No house trailer, recreation vehicle, trailer of any kind, truck, camper, boat or other vehicle over ¾ ton shall be parked, kept, stored, placed, or

maintained on any lot in the Neighborhood except on a special pad, the location and design of which has been approved in advance and in writing by the Design Consultant, who, prior to giving any approval, must be satisfied that such vehicles and equipment will not be visible from the street or any Public Lands and that same are properly screened or otherwise hidden from view by prescribed wood fencing and that there will be no adverse effect on any proposed, approved or Developer landscaping.

No recreation vehicles or commercial vehicles in excess of ¾ ton capacity shall be parked on the driveway or in front of any home for more than 48 hours in any consecutive 72 hour period.

13.7 Satellite Dishes / Antennas  
Satellite dishes or antennas or other communications equipment must be completely screened from public view and shall not exceed 18" in diameter. Such equipment should be hung and mounted to ensure that they cannot be seen from the street or any public lands.

#### 14.0 INTERPRETATION

The enforcement, administration and interpretation of these guidelines shall be at the discretion of Avillia Developments Ltd. or its designated consultant. The unfettered application of these guidelines shall be without notice or precedent.

## 15.0 **SITING**

### 15.1 Consultant

Check with the Architectural Consultant for all applicable drawings, and any special conditions.

### 15.2 Municipality Regulations

Ensure that County of Strathcona regulations are met and note relevant plans regarding utilities and rights of way.

### 15.3 Grading

Check Building Grade Plans and conform to them. Do not grade to existing vacant lots or unfinished lanes, but to elevations provided.

### 15.4 Plot Plans

Plot plans and stakeout must be carried out by the designated surveyor only.

Plot plans must include the following:

- Scale 1:300 metric
- 
- North arrow
- Municipal address
- Legal description of property
- All property lines, designated and dimensioned
- Size and location of proposed building(s) dimensioned to property lines, existing building and other structure where applicable
- All cantilevers (including floor, bay windows, fireplaces, eaves, etc.)
- Abutting streets, avenues, reserves, etc. Easements and utility right-of-way labeled and dimensioned, accurately figured, explicit and complete.
- Spot elevations around building and drainage directions
- Dimensions from property line to sidewalk and face of curbs

## 16.0 **SUBDIVISION APPEARANCE**

### 16.1 Signage

All signage will be supplied by the Developer, ie: directional signs and general information signs. The only signage to be supplied by the Builders will be on lots owned or sold by that Builder. Excessive abuse of signage, including sandwich boards, may necessitate removal of ALL Builder's and Realtor's signs.

16.2 Excavation Material

All Builders must ensure that all excavation is kept within the confines of their lot. Any spillage on a road, land, sidewalk or neighboring lot must be removed immediately or the Developer will arrange for its removal and invoice for expenses.

16.3 Clean-Up

Builders should encourage timely removal by all sub-trades of litter on building sites. Failure to comply will result in a clean-up bill being charged to the lot. Supply of bins by the Builder is recommended. Any general clean-up of the subdivision implemented by the Developer can and will be charged pro-rata to all Builders.

16.4 Construction Activity

Each Builder is responsible for inspecting the condition of curbs, sidewalks, street lights, services, etc. on his lot and must submit written notice of any damages to the Developer at possession, otherwise costs for repairing any damages becomes the sole responsibility of the Purchaser.

**17.0 APPROVAL PROCESS**

At possession, the Builder inspects the lot and all services. All discrepancies or damage are to be reported in writing with the application and a copy forwarded to the Developer.

Before applying to the County for a development permit, the applicant shall submit plans for approval of WINDWARD LANDTEC INC. Application shall include the following:

- a. One complete set of house plans; ¼” or 3/16” to 1; scale
- b. Two copies of the Plot Plan, prepared by Pals Surveys Ltd. 1:300 scale
- c. Completed application form
- d. Material and color samples, as required

WINDWARD LANDTEC INC. will review the plan and recommend approval, modification, or rejection of the application based on the adherence of the plans to these guidelines. Should disputes arise, the Developer shall make the final decision on the acceptability of plans. Once approved, WINDWARD LANDTEC INC. will send a copy of the application indicating any changes to the applicant. After approval, the plans may not be altered without prior approval of WINDWARD LANDTEC INC. WINDWARD LANDTEC INC. will keep an up-to-date record of plans showing house types, color, rooflines and grades, to advise the applicants of how their proposed house will best fit into the existing situation.

Approval of any and all house plans will be at the sole and unfettered discretion of the Vendor.

No stakeout will be granted until approved by WINDWARD LANDTEC INC.

## 18.0 SECURITY DEPOSIT

A security deposit or Letter of Credit in the amount of \$5,000.00 per lot (or as arranged with Developer when purchasing multiple lots) is due prior to house plan and grade approval to cover:

1. Contravention of architectural objectives.

1. Possible damage to:

- a. curb stop – water valve
- b. sidewalks, curbs and gutters
- c. driveway aprons and asphalt
- d. boulevard landscaping and trees
- e. rear gutters and walkways
- f. light standards

- a. fire hydrants
- b. cathodic protection points
- c. grading and drainage swales
- d. fencing

### 18.1 Deposit Return Procedure

1. Exterior completed in accordance with these guidelines and as approved by the architectural consultant.
2. Landscaping satisfactorily completed as per requirements.
3. Rough or Final grading certificate and city approval of same, from the City of St. Albert.
4. Water valve exposed and marked.
5. Sidewalks, street, lane, gutters and curbs cleaned.
6. Application made in writing to WINDWARD LANDTEC INC.

Upon completion of construction, site works and landscaping, a final inspection is done to ensure compliance with the Architectural Guidelines and to check for any damages to municipal improvements. The following items must be completed prior to a request for final inspection:

- Home constructed in compliance with the Guidelines and the approved plan
- Construction complete including seasonal work on exterior, site cleared of all debris, sidewalks and curbs cleaned, cc marked and exposed
- Landscaping completed in accordance with guideline requirements
- Grading certificate for rough grade is provided with City approval

If the landscaping inspection fails and more than one re-inspection is required, the re-inspection fee will be the responsibility of the home owner/builder.

**To initiate the final inspection, a request form accompanied by the approved Grading Certificate must be forwarded by the Builder/Home Owner to Windward Landtec Inc.**

### **Appendix A – Approved Roofing Products & Colours**

IKO	Cambridge 30	Weatherwood, Dual Black/Driftwood
BP	Mystique	Twilight Grey, Shadow Black Driftwood, Antique Grey, Stonewood
GAF	Timberline 30	Weatherwood, Charcoal Blend

Additional Colors and Manufacturers as approved by the Designated Consultant

## **Appendix B – Building Design**

### **Facade Design**

Objectives:

- Ensure the homes are modern in esthetic and form by using modern design features and materials, and excluding traditional elements and decoration.
- Utilize traditional and modern materials in non-traditional, creative applications.
- Create a well-defined, balanced, and inviting front facade that connects the home to the surrounding landscape and street interface.
- Create an inviting entrance by utilizing the front step material and form to complement the overall facade and front door arrangement.
- Incorporate the design features to enhance the facades that have high visibility from park areas, storm ponds, greenbelts, and corner lots.

Controls: **(All homes in this stage are designated high visibility lots)**

- Each home must have a visible front entry that faces the street.
- Homes on corner lots must incorporate the design guidelines to both faces of the facade that front each street, and the rear elevation will also require detailing and trim to match.
- Homes that are located on high visibility lots must incorporate the design guidelines to all rear building facades.
- Each home must incorporate Primary Design Feature and one Secondary Design Feature into the design of each facade or building face deemed highly visible by the Architectural review Consultant.

Walkouts:

- The rear elevation of these homes require special design consideration and must avoid large expanses of blank wall space as well as a three-storey towering appearance. The architectural devices that will best achieve the desired elevation are a combination of various wall planes, downhill sloping roofs in combination with dormers, decks and balconies. The distance from grade to the first eave line should not be more than 20'.

### **Roofs**

Objectives:

- To encourage simple, functional, and well proportioned roof lines to enhance the overall design of facade and entire home.
- To encourage a range of contemporary roof lines within the streetscape to create an interesting and unique development.

Controls:

- The Modern Contemporary design permits shed roofs and barreled or simulated barreled roof lines.
- The Prairie Modern theme roof design is limited to a hip or cottage roof throughout the design.
- Flat roofs will be accepted.
- All visible roof pitches must be 2:12 to 4:12 for both Prairie Modern and Modern Contemporary.
- Roof eave overhangs must be a minimum of 30" for Prairie Modern and must be a minimum of 24" for Contemporary Modern. It is recommended where possible to provide a larger overhang to meet the style.
- Roofs must utilize one of the materials and approved colours as listed in the Materials and Colors Chart.
- Terra cotta and clay tile roofs are not permitted.
- Domes, turrets, or spires are not permitted.
- All eaves, soffits and fascia must be a minimum of 8" and complement the roof and the overall facade of the home.
- Fascia and soffit must be prefinished metal or hardi/smart board.
- Soffit may be sealed wood or longboard soffit.
- Other roof pitches/designs may be accepted should they meet the intent of the style subject to the Architectural Consultants approval.

**Chimney**

Objective:

- To encourage materials and form to complement the front or highly visible facade design.

Control:

- Material and forms used to create the create chimney must reflect the Contemporary Modern or Prairie Modern form in material and detail.

**Garage Doors**

Objectives:

- To allow for a variety of creative garage doors that fit within the Contemporary Modern and Prairie Modern design themes.
- To use the garage door as a design element to add visual interest to the front facade of the home.

Control:

- Garage doors must complement the overall facade of the home.
- Traditional panelized or barn door replicas of garage doors will not be permitted for either design theme.
- The color and material of the garage door must complement the front facade design.
- The Architectural Review Consultant may approve a garage door design, material, or color not listed within these guidelines should they meet the design intent of the housing style.

**Windows**

Objectives:

- To allow for a variety of creative window design that fits within the Contemporary Modern and Prairie Modern design themes. Please refer to the Contemporary Modern and Prairie Modern Design Process graphics for more information.
- To encourage well-proportioned window placement to enhance the overall facade design.
- To achieve a high level of street interface by utilizing interesting window design.

Control:

- Traditional muntin and mullion arrangements throughout the entire window panel will not be permitted for the Contemporary Modern or Prairie Modern design themes.
- Traditional muntin and mullion arrangements to the top third of the window will be permitted for the Prairie Modern and Contemporary Modern design theme.
- Window frames must be complementary in colour to the overall selected design theme of Prairie Modern and Contemporary Modern. Black, grey or aluminum windows are required for the Contemporary Modern style.
- White window frames will not be permitted on prairie elevations unless it can be shown that they are required to complement the overall design of the facade.
- No half round, quarter round, or palladium window styles will be permitted.
- The Architectural Review Consultant may approve a window design or colour not listed within these guidelines.

**Primary and Secondary Design Features**

Objectives:

- To promote a variety of design features to add visual interest and functionality to each home such as entry canopies and pergolas, front step to planter interface, feature screens, sun shades, house address identification, exterior light fixtures and similar visual interest items that may be approved by the Architectural Review Consultant. Please refer to the Design Process Graphic, for more information.

Control:

- Creative front steps that enhance the overall design of the front facade will be encouraged.
- Alternate Primary Design and Secondary Design Features not listed here may be approved at the discretion of the Architectural Review Consultant.
- Each dwelling should include multiple primary and secondary design feature as listed below. Please see Design Guidelines reference graphic on Page 20 and 21.

**Primary Design Feature**

- Central Feature
- Entry feature
- Wing Wall (Contemporary Modern) or Garage Feature (Prairie Modern)

**Secondary Design Feature**

*Prairie Modern*

- Central Background Feature
- Chimney Feature
- Entry Planter
- Dropped Soffit Feature
- Horizontal Banding Feature

*Contemporary Modern*

- Framing Accent
- Screening Feature
- Entry Planter
- Street side Deck
- Background Accent Feature
- Precast front steps must be of exposed aggregate finish. Wood steps will not be permitted.
- All materials used to construct design features must be complementary in colour and form to the overall design of the front facade.
- Ornamentation must be contemporary in design and complement the home. No historical styles or details will be permitted e.g. (arches, decorative columns, animal ornaments, intricate mouldings, etc.)

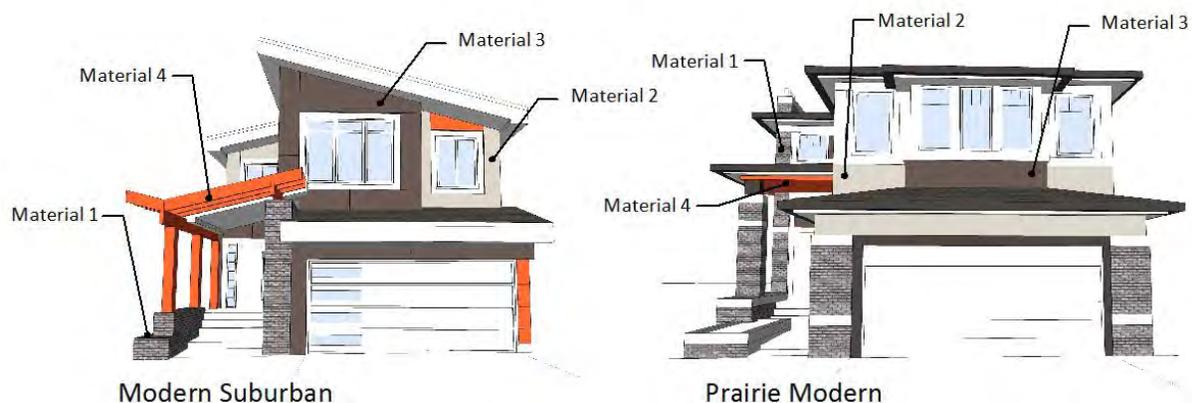
**Materials**

Objectives:

- To encourage the use materials with proper scale and proportion to create an interesting modern facade.
- To promote the controlled variety of the neighbourhood esthetics.

Controls:

- Please refer to the Materials Chart for approved material selections.
- Unacceptable Wall Materials
  - Raw wood siding
  - Wood shakes
  - Vinyl siding
  - Hardie board siding; hardie board panels are acceptable
  - Stone is limited to an accent material comprising no more than 25% of the front facade.
- Exterior walls that do not make up a front facade must be designed with complementary materials and colours.
- A combination of approved complementary materials and colours must be used to all walls that face a street or are classified as high visibility. A maximum of 4 materials may be used per wall face.
- Alternate Materials not listed here may be approved at the discretion of the Architectural Review Consultant.
- No facade may be comprised of 100% material.
- The facade may be composed of a recommended maximum of 75 % of any one material.
- Any accent material may only comprise a recommended minimum of 5% of the front or highly visible facade.



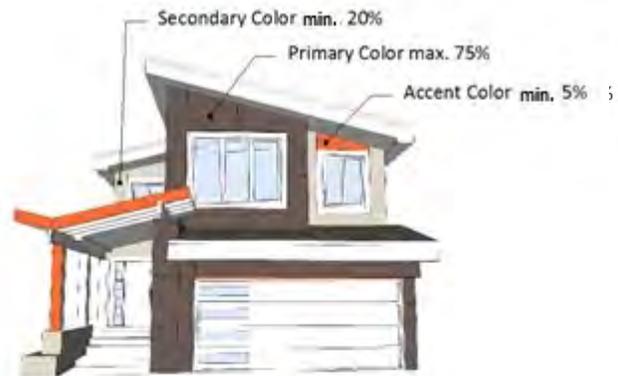
## **Colours**

### Objectives:

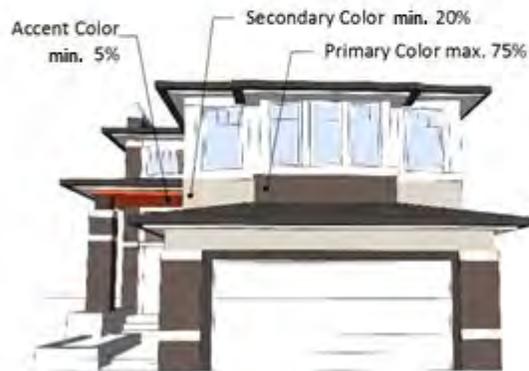
- To promote a controlled variety of colours that complement each home and fit within the context of the block and the neighbourhood.

### Control:

- Please refer to the Colour Chart for approved colour selections.
- Overly bright or fluorescent colours will not be approved.
- No facade may be comprised of 100% colour.
- Accent colours are to be a recommended minimum of 5% of the front facade of the home.
- The facade may be composed of a recommended maximum of 75% of any one color.
- The secondary color may be comprised of a minimum of 20%.
- Percentages are a guideline only. Alternative arrangements may be considered subject to the Design Consultants Approval.
- The front facade will be limited to 4 colours.
- All color schemes must be approved by the Architectural Design Consultant.



Modern Suburban

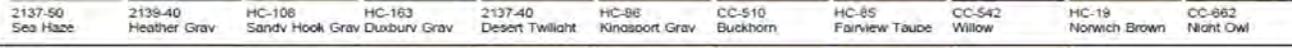
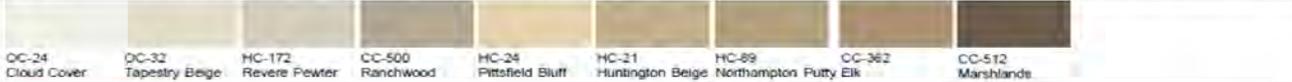


Prairie Modern

## **House Address Identification**

- House address identification must be graphically complementary in scale, colour and material to the overall design of the front facade. Please refer to the Contemporary Modern and Prairie Modern Design Process Graphics for more information.

## Appendix C - Graphics Chart

Design Component	Approved Materials / Profiles / Textures and Colors			
Roof Material	<b>Asphalt Shingle</b> IKO Asphalt Shingle or similar <u>Approved Colors:</u> -Charcoal Grey - Dual Black - Driftwood	<b>Metal Roofing</b> <b>Vicwest or similar Profile:</b> Vicwest Ultravic or similar. <u>Approved Colors:</u> - QC 16068 Black - QC 16072 Charcoal - QC 16077 Cocoa Brown	<b>Decra or similar</b> <u>Approved Colors:</u> - Canyon Brown - Midnight Eclipse	<b>Slate</b> <b>TruSlate or similar</b> <u>Approved Colors</u> - Onyx Black - Eco Green - Greystone - Mystic Grey
	<div style="border: 1px solid black; padding: 5px;"> <p><b>NOTE:</b> The Architectural Review Consultant may consider and approve a material, color, profile, or texture not listed here. Such materials and colors may be approved based on their merit and design use.</p> </div>			
Wall Material	<b>Stone</b> Eldorado Stone or similar <u>Approved Colors:</u> - Dark Rundle Stacked stone - Olympic stacked stone - Banff Springs cliffstone Cultured Stone or similar <u>Approved Colors:</u> - Black Rundle Alpine ledgestone - Black Mountain Alpine ledgestone - Aspen Country ledgestone - Bucks Country ledgestone	<b>Brick</b> <b>IXL or similar</b> <u>Approved Colors:</u> - Small IXL 126 Grayburn Smooth - Small IXL 151 Sable Smooth - Small IXL 209 Russet Graintex - Small IXL 213 Chocolate Brown Graintex - Small IXL 219 Charcoal Graintex - Small IXL 223 Laurentian Grey Graintex - Small IXL 274 Victoria Grey Graintex	<b>Vinyl Siding</b> <b>CertaTeeed Monogram 46 or similar</b> <u>Approved Colors:</u> - Granite Gray - Spruce - Hearthstone - Barn Red - Pacific Blue - Sable Brown - Canyon Blend - Timber Blend - Weathered Blend	<b>Cementitious Board</b> James Hardie Products or similar, and missing accent colors and secondary colors. <u>Approved Colors:</u> - Evening Blue - Monterey Taupe - Timber Bark - Mountain Sage - Khaki Brown - Traditional Red - Iron Grey - Chestnut Brown - Navajo Beige - Cobblestone - Sandstone Beige - Autumn Tan - Heathered Moss - Woodstock Brown - Boothbay Blue - Countrylane Red
	<b>Stucco</b> <b>Acrylic Stucco</b> <u>Approved Colors:</u> See approved color palette for color choices <u>Approved Textures:</u> - Fine Sand Float - Medium Sand Float	<b>Metal Cladding</b> <b>Vicwest or similar Profile:</b> Vicwest 7/8" Corrugated CL938, AD 300, or similar as approved by the Architectural Review Consultant. <u>Approved Colors:</u> - QC 16066 Tile Red - QC 16072 Charcoal - QC 16071 Stone Grey - AZ 150 Galvalume	<b>Composite Timber Board</b> <b>Parklex or similar</b> <u>Approved Colors:</u> - Ambar - Rubi - Copper - Onix - Antra	
Recommended Color Palette				
Primary Colors				
Secondary Colors				
Accent Colors				

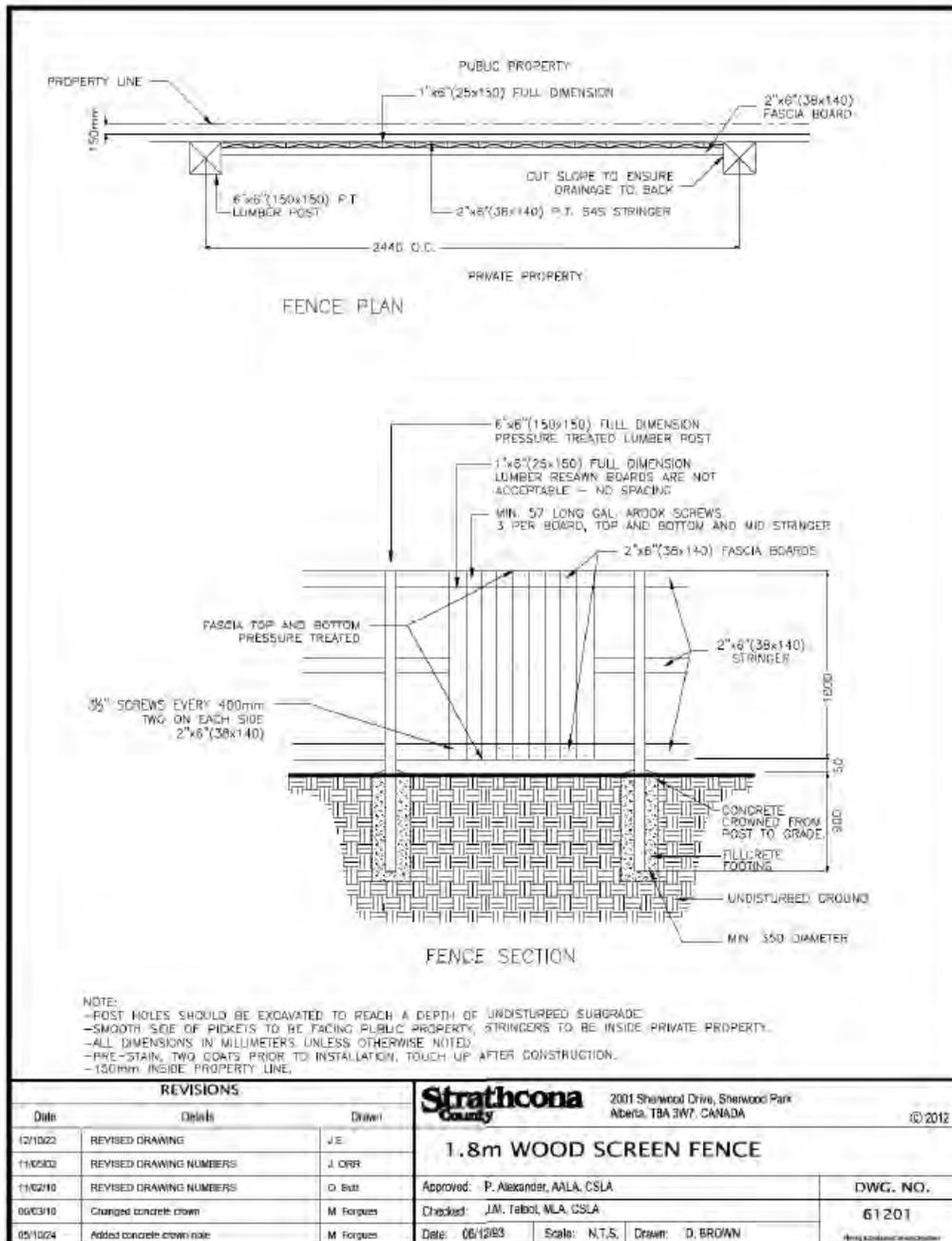
## Appendix D – Fencing

The approved wood screen fencing colors in Salisbury Village are as follows:

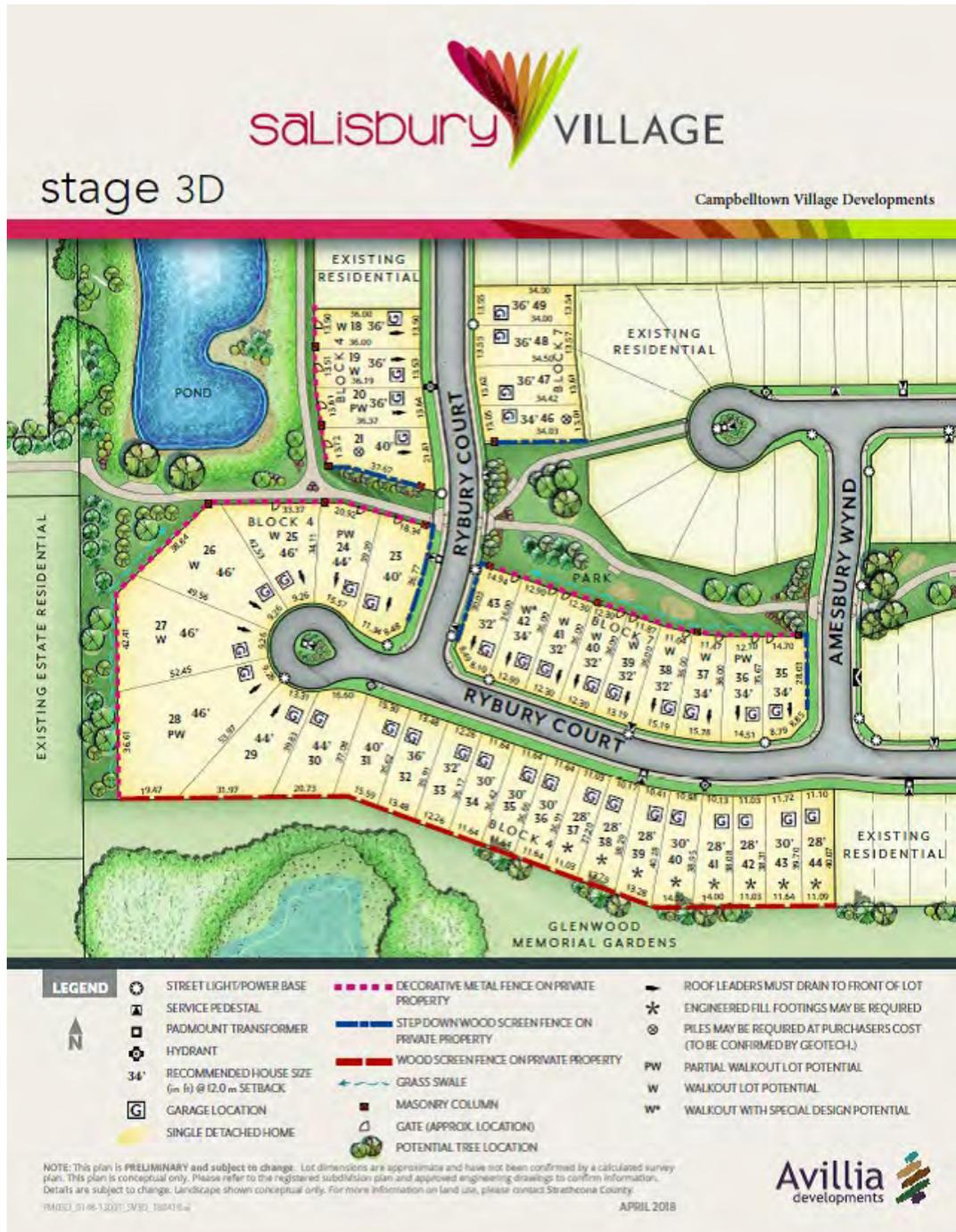
**Fence Color: Cloverdale paint, Sandstone**

**Post Cap to be Pyramidal**

Please see the attached fence detail schematic for further information.



## Appendix E – Map



## Appendix F – Zoning Plan

